

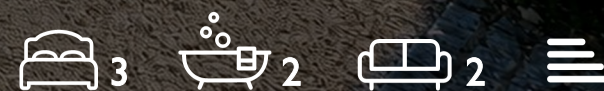
WE VALUE



YOUR HOME



Preston Crowmarsh, Wallingford
£900,000



Set in the highly regarded village of Preston Crowmarsh, this immaculately presented three-bedroom detached home is an impressive eco-conscious property, designed with a focus on reduced carbon footprint and energy efficiency, including an air heat recovery system and triple glazing throughout. Offering versatile accommodation arranged over two floors, the property is complemented by a beautifully established and private rear garden.

The ground floor features underfloor heating throughout and a generously proportioned modern kitchen/dining room, fitted with integrated appliances, a central island and triple-glazed dual-aspect doors. A comfortable lounge, versatile study/music room, utility room and downstairs cloakroom complete the ground floor, with the study/music room offering the flexibility to be used as a fourth bedroom if required.

Upstairs, there are three well-proportioned double bedrooms, all benefiting from attractive vaulted ceilings. Bedroom one is a particularly impressive space, featuring a freestanding bath, two skylights providing an abundance of natural light and a modern en-suite shower room. The remaining two bedrooms are served by a contemporary family shower room.

Outside, the enclosed and private rear garden has been beautifully established and provides a selection of attractive seating and entertaining areas. A large paved terrace creates an ideal space for outdoor dining, leading onto a raised lawn bordered by mature planting, lavender and established shrubs. Mature trees and hedging provide a leafy backdrop, while a timber garden shed offers useful storage.

The property further benefits from off-street parking for three vehicles, making this an attractive and versatile family home in a sought-after location. The property also enjoys excellent proximity to both Wallingford and Benson, with the surrounding countryside and scenic walks along the River Thames providing a wonderful setting for outdoor pursuits and leisure.





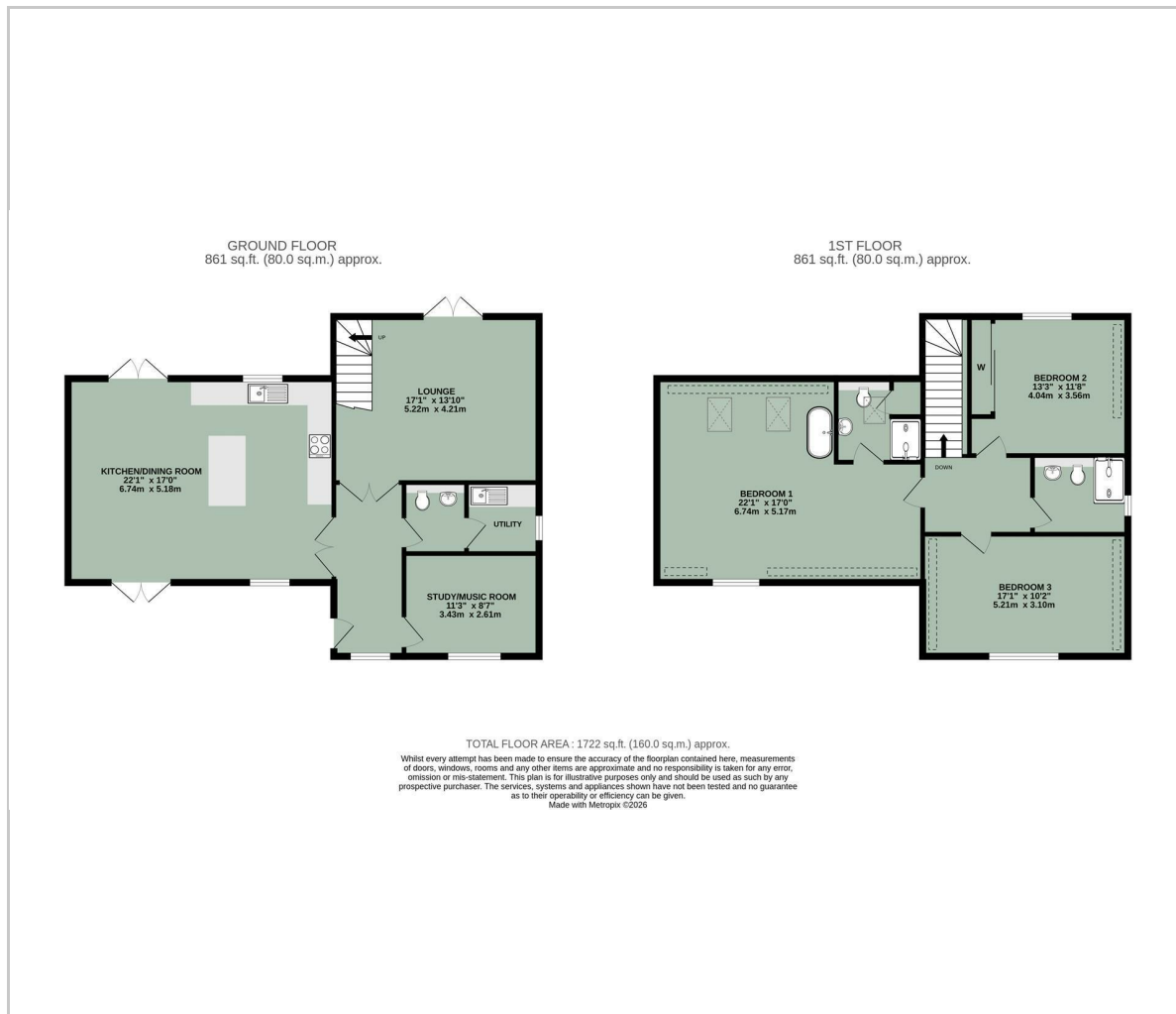
- IMMACULATLY PRESENTED THROUGHOUT
- MODERN KITCHEN/DINING ROOM WITH ISLAND BAR & INTEGRATED APPLIANCES
- SET IN THE HIGHLY REGARDED PRESTON CROWMARSH
- MATURE & ESTABLISHED REAR GARDEN
- THREE DOUBLE BEDROOMS WITH VAULTED CEILINGS
- UNDERFLOOR HEATING TO THE MAJORITY OF THE GROUND FLOOR
- LOUNGE & VERSATILE STUDY/MUSIC ROOM
- UTILITY ROOM & DOWNSTAIRS CLOAKROOM
- GRAVELLED DRIVEWAY PROVIDING OFF-STREET PARKING FOR THREE VEHICLES



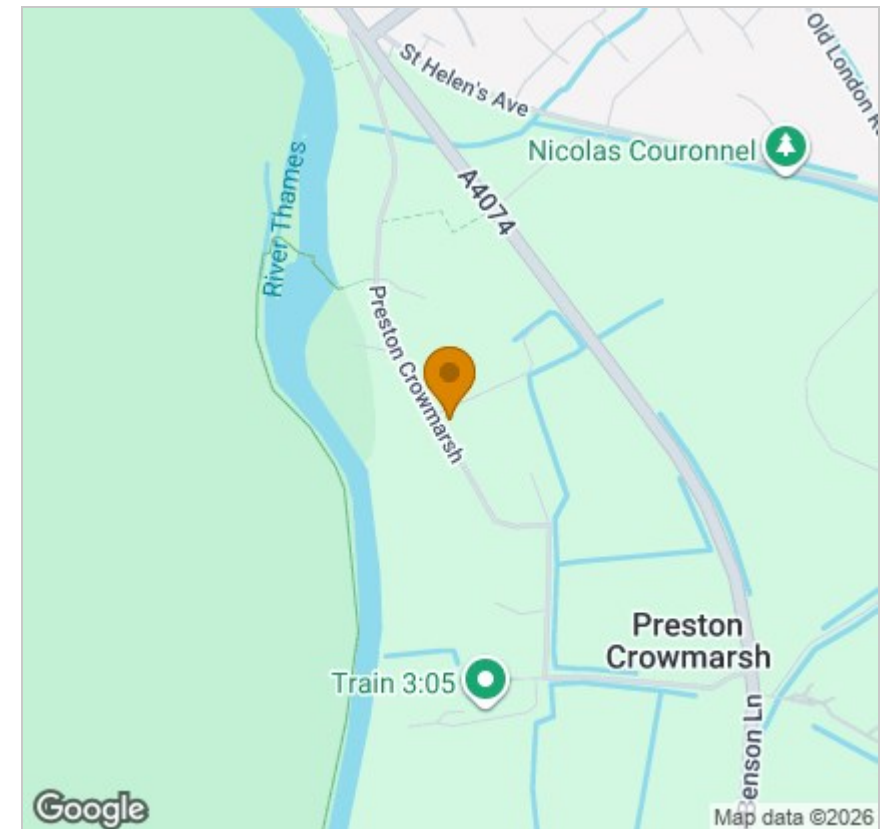
Energy Efficiency Rating		Environmental Impact (CO ₂) Rating	
Very energy efficient - lower running costs	Current	Very environmentally friendly - lower CO ₂ emissions	Current
92 plus) A (91-91) B (89-88) C (85-81) D (79-54) E (21-38) F (1-20) G		92 plus) A (91-91) B (89-88) C (85-81) D (79-54) E (21-38) F (1-20) G	
Not energy efficient - higher running costs		Not environmentally friendly - higher CO ₂ emissions	
England & Wales	EU Directive 2002/91/EC	England & Wales	EU Directive 2002/91/EC

Energy Efficiency Graph

Floor Plan



Area Map



Viewing

Please contact our In House Sales & Lettings Office on 01491 839999 opt.1
if you wish to arrange a viewing appointment for this property or require further information.

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